

Mobile Home Park Submittal Checklist and Application

Your application submittal must have the following minimum items for review:

- Application form**
- Two (2) **complete plot plans on 8 ½ X 14** (see plot plan checklist requirements)
- The **application review** fee is required to be paid at time of application
- Interior layout of the proposed home
- Storm water plan application (separate form) with two (2) stormwater site plans
- Foundations - select one
 - Installed per manufacture's installation instructions which must be on-site at inspection
 - Engineered system – provide two (2) stamped copies of design
 - Installed per alternate provisions of ANSIA225.1 – provide two (2) copies of details and tie downs. This option may only be used on homes built after June 15, 1976.

Separate permits required for decks, ramps, carports, storage sheds and garages. Two (2) sets of complete building plans and engineering (if applicable) will be required along with additional fees. Decks over 18 inches above-grade must meet setbacks. Building plans and permits are not required for standard 3 x 3 foot landing. All structures must meet setbacks.

Town of Yacolt – zoning approval letter, including assigned address is required from Town of Yacolt along with 2 stamped plot plans. Contact Yacolt Town Hall, 202 W. Cushman St., Yacolt, (360) 686-3922. Clark County provides zoning reviews for sites in unincorporated Clark County only.

If any of the above information is missing your permit application cannot be accepted.

Revised 5/18/15



Community Development
1300 Franklin Street, Vancouver, Washington
Phone: (360) 397-2375 Fax: (360) 397-2011
www.clark.wa.gov/development



For an alternate format,
contact the Clark County
ADA Compliance Office.
Phone: (360) 397-2322
Relay: 711 or (800) 833-6384
E-mail: ADA@clark.wa.gov

Prior to issuance of the placement permit, some may apply:

Title 40.100.070 definitions: the term mobile home/manufactured home does not include recreation vehicles, commercial coach, camping vehicle, travel trailer, park trailer, tip out, and any other similar vehicle which is not designed and constructed for residential purposes, for use as a single family dwelling and is not otherwise labeled as a manufactured or mobile home under any federal or state law.

- The following information on the mobile home is required:
 - Documentation from the manufacture, title or registration showing that this is a mobile or manufactured home
 - Size, Year, Make & Model, Serial number and (2) floor plans
 - Copy of the certified installer and their contractors license number
- One (1) copy of the contractor's valid Washington State License may be required if our system shows the license is expired or not in our current database.
- Verification of **Sewage Disposal**:
 - If the park is served by a septic system Clark County Public Health approval may be required. They are located at 1601 E. 4th Plain Blvd, Vancouver, WA, (360) 397-8428.
 - If the park is served by Clark Regional Waste Water District, verification of sewer connection may be required. They are located at 8000 NE 52nd Ct, Vancouver, WA, (360) 750-5876.
 - If the park is served by City of Vancouver, verification of sewer connection may be required. They are located at 415 W. 6th St, Vancouver, WA, (360) 487-7866.
- Verification of **Water Supplier**:
 - If the park utilizes a private or community well, Clark County Public Health approval may be required. They are located at 1601 E. 4th Plain Blvd, Vancouver, WA, (360) 397-8428.
 - If the park utilizes a public water system, you may be required to provide a letter of approval from the appropriate water agency. Clark Public Utilities is located at 1200 Fort Vancouver Way or 8600 NE 117th Ave, Vancouver WA, (360) 992-8022. City of Vancouver is located at 415 W. 6th St, Vancouver, WA, (360) 487-7866.
- Electrical Permits**
 - Washington State Labor and Industries is located at 312 SE Stonemill Dr., Ste 120, Vancouver, WA, (360) 896-2371.

Mobile Home Plot Plan Checklist

Scale

- Only use standard scales found on Engineer or Architectural scale

Size

- No plot plan larger than 8.5 x 14 inches
 - A four inch space must be left blank at bottom of page for county review stamp

Identify property features

- Name of mobile home park and space number
- North arrow
- Easements (size, type and dimensions)
- Access points/driveways (width and length, distance to property lines)
- Right of ways (width, centerline dimensions and street names)
- Physical attributes (wetlands, water, slopes etc.)

Identify proposed structures and features

- Footprint and roofline, including dimensions of mobile home
- Setback from closest point of structure to the park property lines, edge of easements, right of ways, walkways, water ways
- The distance to adjacent structures, homes, stairs, ramps or porches, and between proposed mobile home on site to new exterior structures

Proposed structures and features

- Interior layout of proposed home to be placed to reference location of bedrooms in relation to proposed placement of exterior structures

Identify existing structures and features

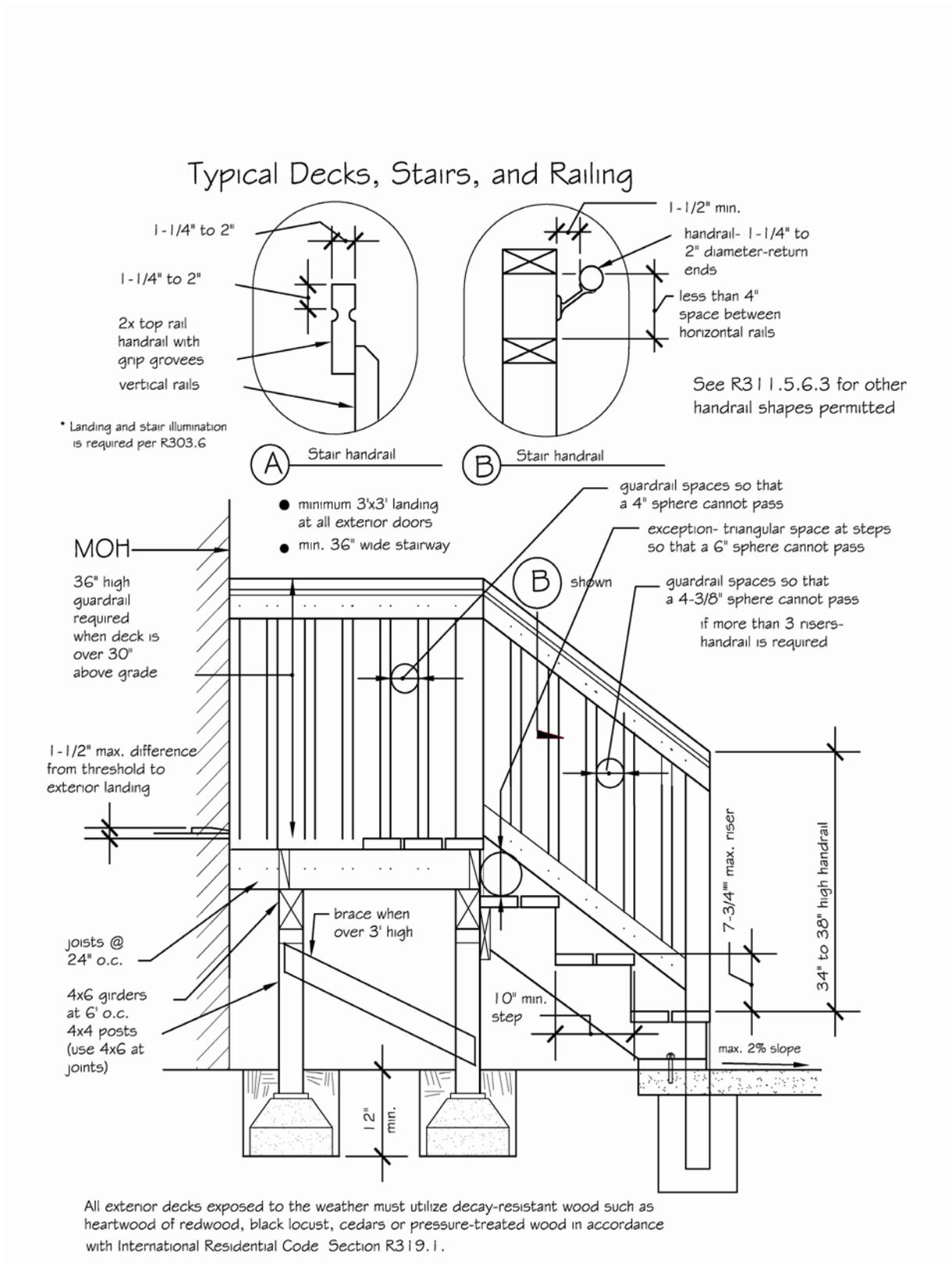
- Show and label all existing structures on site & adjacent to proposed mobile home placement
- State on plot plan whether the neighboring buildings are combustible (such as wood frame building) or non- combustible (such as metal buildings)

Additional information

Plot plan must be legible or your application will not be accepted.

The following information is for your review. It includes a typical stair and ramp detail, standard setbacks within a mobile home park, and an example of a plot plan.

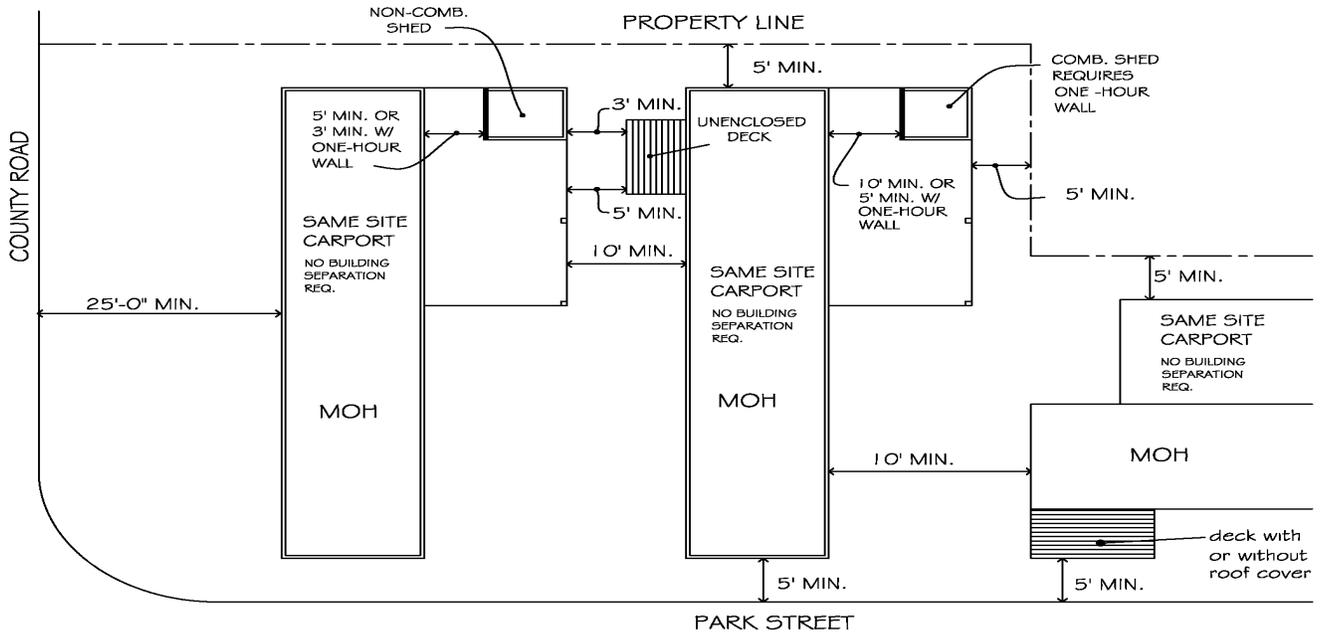
Typical Decks, Stairs, and Railing



Mobile Home Park Setbacks

1. Separations measured wall to wall, post to wall, and post to post								
2. Stairs and decks less than 18" high, no setbacks								
3. One-foot maximum roof projection into required setbacks								
4. Exact size MOH replacement allowed without causing greater encroachments								
5. No setback requirements between carport and MOH on same site only.	Combustible bldgs (mobile homes)	Non-combustible buildings	1-hr wall (no openings)	Stairs & decks (without roofs)	Porch, stairs & decks (w/combustible roofs)	Porch, stairs & decks (non-combustible)	Combustible awnings	Non-combustible awnings
6. One layer of 5/8" type "x" gypsum board inside and out, as required for one-hour construction for storage sheds less than 5 feet from mobile home; for existing same-as installations, on new construction, a minimum of one layer of 5/8" type 'x' gypsum board is required, inside or outside.								
Combustible buildings (mobile homes)	10	5	5	5	10	5	10	5
Non-combustible buildings	5	3	3	3	5	3	5	3
1-hr wall (no openings)	5	3	3	3	5	3	5	3
Stairs and decks (without roofs)	5	3	3	3	3	3	5	3
Porch, stairs, ramps and decks (w/combustible roofs)	10	5	5	5	10	5	10	5
Porch, stairs, ramps and decks (non-combustible)	5	3	3	3	3	3	5	3
MHP property line and street	5	5		5	5	5	5	5
Property line at public street	25	25		25	25	25	25	25

Example Plot Plan



Show the interior layout of proposed mobile home. Reference the location of bedrooms in relation to proposed placement of exterior structures.

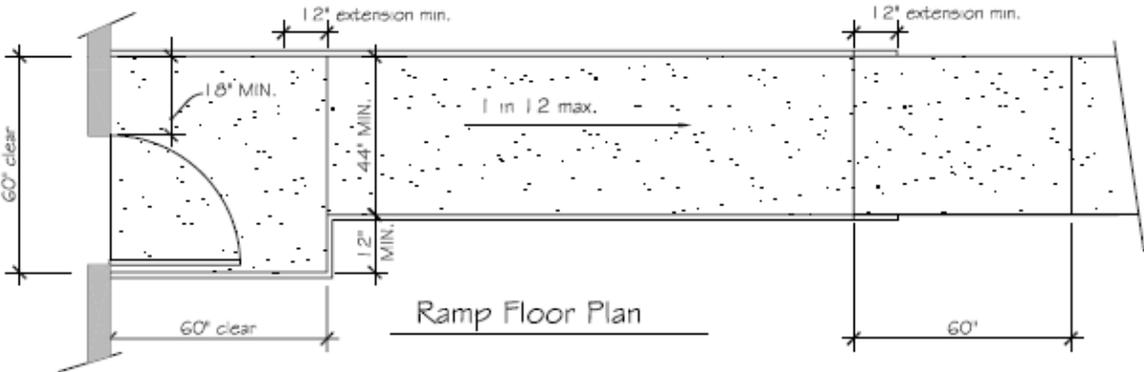
Ramp Detail



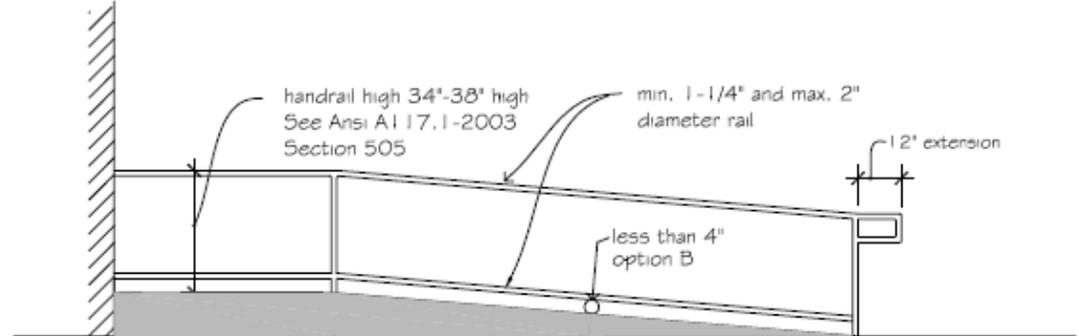
Southwest Washington Chapter of ICC

This construction detail is illustrative of the minimum standard
of construction based upon the 2009 IBC / WAC 51-50

Visit our web site at: www.sww-icc.org



Ramp Floor Plan



IBC Ramp Elevation

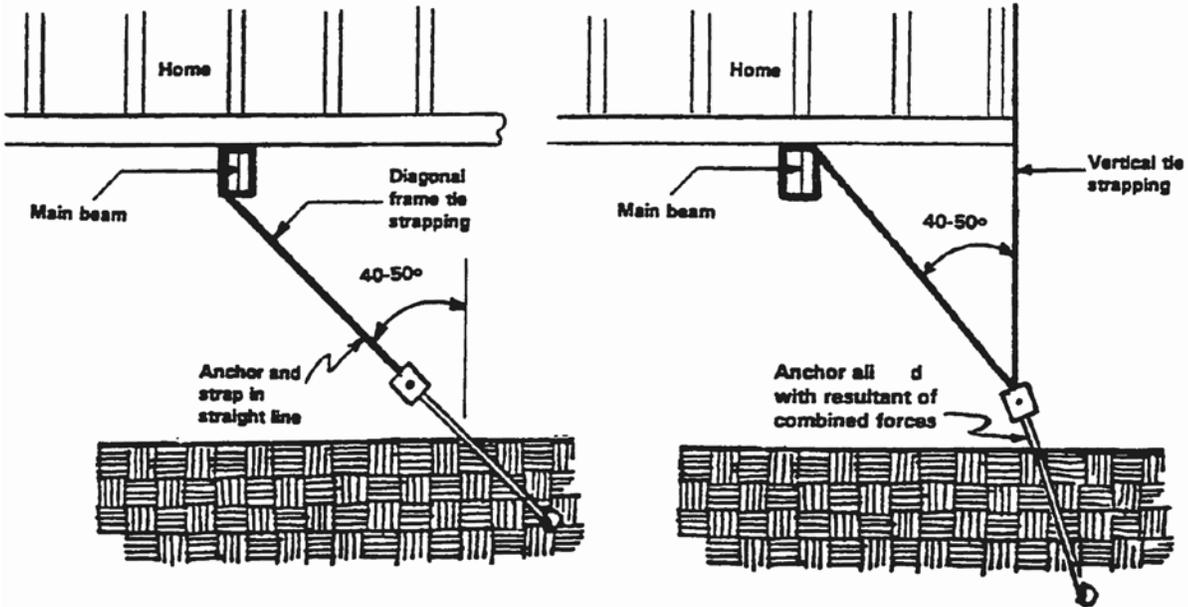
Note:
(All code sections shall be ICC/ANSI A117.1-2003 unless otherwise noted)

1. Min. clear width of exterior ramps shall be 44 inches. See WAC 51-50 Section 1101.2.2.
2. Max. ramp slope runs shall be not steeper than 1 vert. in 12 horiz. per 405.2. The maximum cross slope of ramps and landings shall not be steeper than 1 vert. to 48 horiz. See Section 405.3 & 405.7.1.
3. Max. rise of 30' vertical between landings. See Section 405.6.
4. 60' x 60' landing required where ramp changes direction. See Section 405.7.4.
5. Ramp runs with a rise greater than 6" shall have handrails on both sides complying with IBC 1010.8 and ANSI standards. Ramp handrails shall extend 12 inches min. beyond the top and bottom of ramp runs. See IBC 1012.6. Handrails shall have an outside diameter of 1-1/4" min. and 2 inches max. or comply with section 505.7.2 for noncircular cross sections. Clearance between handrails and adjacent surfaces shall be 1-1/2 inches clear.
6. Edge protection required on each side of ramp per one of the following two options:
Option (A) Extended floor of the ramp run and or ramp landing shall extend 12" beyond the inside face of the railing per Section 405.9.1; or Option (B) Provide a curb or barrier that prevents the passage of a 4" diameter sphere where any portion of the sphere is within 4" of the floor per 405.9.2.
7. Maneuvering clearances at door shall comply with 404.2.3.
8. Guards required on open-sided walkway of ramp and landing where located more than 30 inches above above the floor or grade below. See IBC 1013.
9. Surfaces shall be stable, firm, and slip resistant. Section 302.

EXTERIOR ACCESSIBLE RAMPS
DWG BY mjm Date 5-12-11 ANSI A117.1-2003 405

Mobile Home Tie Down Detail - EXAMPLE ONLY

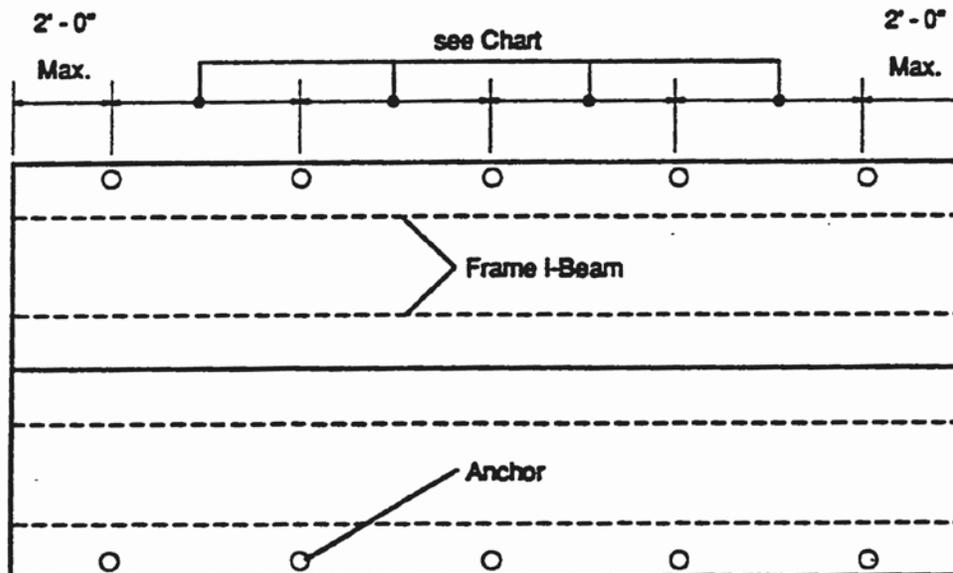
Proper Alignment of Straps and Anchors



a) Diagonal ties only

b) Diagonal and vertical ties

Strap Method	Anchor Min. Ult. Load Capacity	Max. Anchor Spacing	
		Zone I	Zone II
Single Strap	4725 lbs.	11' - 0"	6' - 0"
Double Strap	9450 lbs.	22' - 0"	13' - 0"



Permit Number: _____

<p>Mobile Home Owner Information: Name: _____ Mailing Address: _____ Phone Number: _____ Cell Number: _____ Fax Number: _____ E-Mail Address: _____</p>													
<p><input type="checkbox"/> Contractor <input type="checkbox"/> Applicant <input type="checkbox"/> Contact Information Name: _____ Mailing Address: _____ General Contractor's License #: _____ Certified Installers# _____ Phone #: _____ Cell #: _____ Fax #: _____ Certified Erosion Control Person: _____ Phone # _____</p>													
<p>Application Type: <input type="checkbox"/> Single Wide <input type="checkbox"/> Double Wide <input type="checkbox"/> Triple Wide <input type="checkbox"/> Replacement <input type="checkbox"/> Permanent Placement</p>	<p>Mobile Home Information: (proof is required) Year of Mobile Home: _____ Size: _____ Make: _____ Model: _____ Serial Number: _____ Existing number of bedrooms: _____ Bathrooms: _____ Proposed number of bedrooms: _____ *If unit is 1976 or older, approval from L & I is required*</p>												
<p>Utilities: <input type="checkbox"/> Private Well <input type="checkbox"/> Community Well <input type="checkbox"/> Public Water, District: _____ <input type="checkbox"/> Septic System <input type="checkbox"/> Sewer, District: _____</p>	<p>Other permits you may need: <input type="checkbox"/> Carport/Garage Square Footage: _____ <input type="checkbox"/> Deck Square Footage: _____ <input type="checkbox"/> Patio Covers Square Footage: _____ <input type="checkbox"/> Road Approach – Public Roads: _____ <input type="checkbox"/> Wood Stove – Contact L&I (360) 896-2300 Construction Cost: _____</p>												
<p>Property Location:</p>													
<p>Park Name: _____</p>	<p>Space Number: _____</p>												
<p>Staff to complete. Environmental Constraints:</p> <table style="width:100%;"> <tr> <td><input type="checkbox"/> Archaeological</td> <td><input type="checkbox"/> Floodplain</td> <td><input type="checkbox"/> SEPA</td> </tr> <tr> <td><input type="checkbox"/> Geologic Hazard</td> <td><input type="checkbox"/> Shoreline</td> <td><input type="checkbox"/> Columbia Gorge Scenic Area</td> </tr> <tr> <td><input type="checkbox"/> Habitat</td> <td><input type="checkbox"/> Wetlands/Hydric Soils</td> <td><input type="checkbox"/> Forest Practice</td> </tr> <tr> <td></td> <td><input type="checkbox"/> Wildland Interface Area</td> <td><input type="checkbox"/> None</td> </tr> </table> <p>Applicant Initials: _____ Staff Initials: _____ Current Zoning: _____</p>		<input type="checkbox"/> Archaeological	<input type="checkbox"/> Floodplain	<input type="checkbox"/> SEPA	<input type="checkbox"/> Geologic Hazard	<input type="checkbox"/> Shoreline	<input type="checkbox"/> Columbia Gorge Scenic Area	<input type="checkbox"/> Habitat	<input type="checkbox"/> Wetlands/Hydric Soils	<input type="checkbox"/> Forest Practice		<input type="checkbox"/> Wildland Interface Area	<input type="checkbox"/> None
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The undersigned hereby certifies that this application has been made with the consent of the lawful property owner(s) and that all information submitted with this application is complete and correct. False statements, errors, and/or omissions may be sufficient cause for denial or revocation of the permit.

Applicant/Authorized _____

Date _____